

+

CITY OF CANTERBURY		
☒ -DA	Application No.	Date
☐ -CC		
☐ -BC	195 - 16	15 AUG 2016
☐ -CDC		
☐ -PCA		
☐ -PCD		
RECEIVED		



Front View (North - east)

These plans are subject to strict compliance with the National Construction Code, Environmental Planning and Assessment Act/Regulation, specification details and:

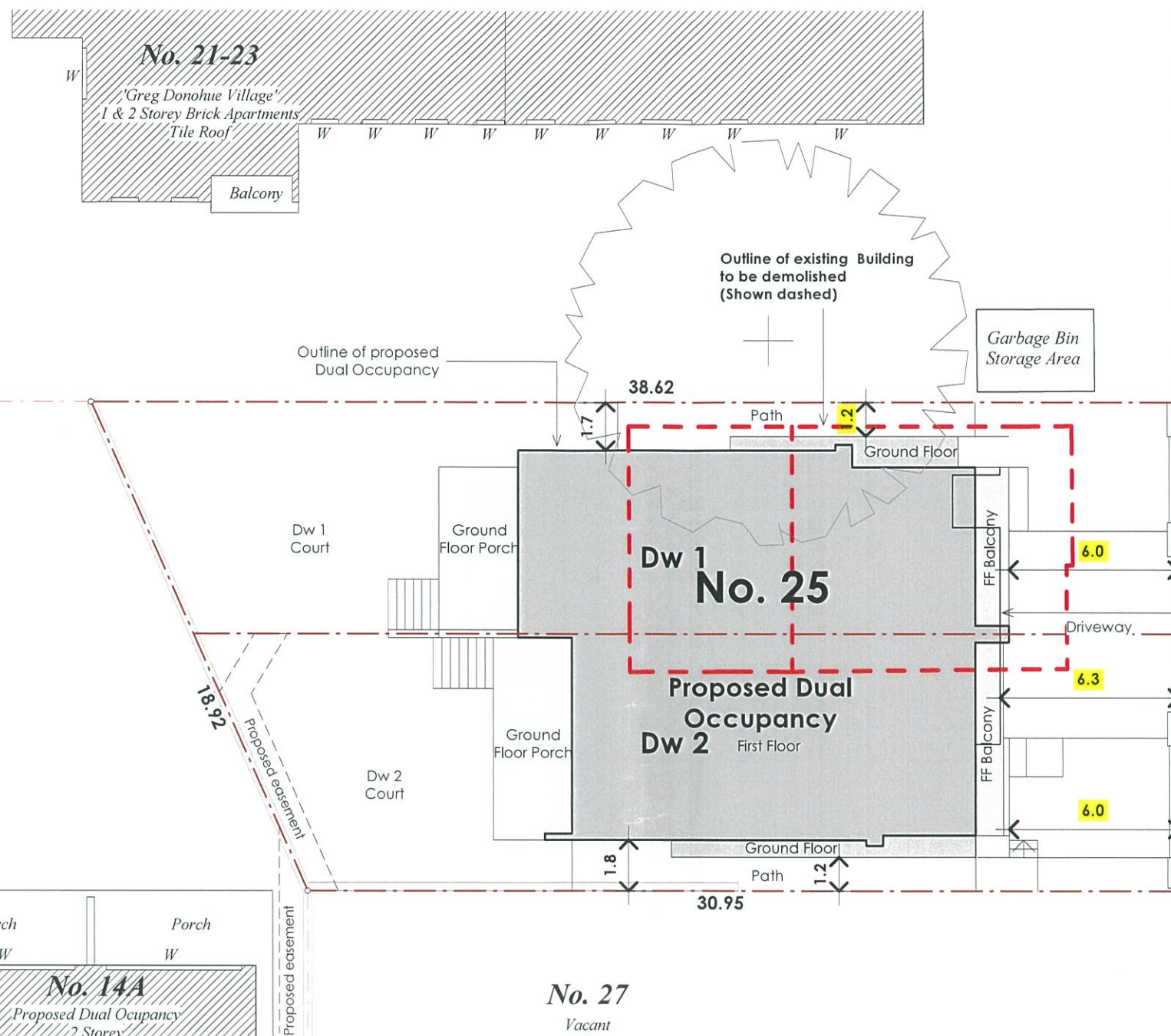
Application No: **195/2016**
 Date Approved: **22/9/16**

Rev. #	Description	Date	Client	Consultants	Project	Date
A	Council Amendments	July '16	Oxford Number 1 Pty Ltd	John Romanous & Associates (Stormwater) Building & Energy Consultants Australia (BASIX) Michael Siu Landscape Architects (Landscape) D-Plan Urban Planning Consultants (Planner)	Proposed Dual Occupancy Development at 25 Trafalgar Street Belmore	Apr '16
			 alec pappas architects Pty Ltd ABN: 60 050 064 045 Level 1, 12 Mashman Avenue Kingsgrove NSW 2208 ph: (02) 9554 8233 fx: (02) 9554 8244 em: info@alecpappas.com.au web: www.alecpappas.com.au nominated Architect: Alec Pappas (Registration No: 4713)		 Member Australian Institute of Architects	Job No. J02-15
			© The Architect retains copyright. Authority should be requested for any reproductions DESIGN INTENT FOR COUNCIL (DA)		Front View	Dwg No. 3D-01 Revision A
			Alec Pappas Architects Pty Ltd			



Application No: 195/2016
Date Approved: 22/9/16

Rev. #	Description	Date	Client Oxford Number 1 Pty Ltd Consultants John Romanous & Associates (Stormwater) Building & Energy Consultants Australia (BASIX) Michael Siu Landscape Architects (Landscape) D-Plan Urban Planning Consultants (Planner)	 alec pappas architects Pty Ltd ABN: 60 050 064 045 Level 1, 12 Mashman Avenue Kingsgrove NSW 2208 ph: (02) 9554 8233 fx: (02) 9554 8244 em: info@alecpappas.com.au web: www.alecpappas.com.au nominated Architect: Alec Pappas (Registration No: 4713) <td rowspan="7">  Member Australian Institute of Architects </td> <td>Project</td> <td>Date</td>	 Member Australian Institute of Architects	Project	Date
A	Council Amendments	July '16				Proposed Dual Occupancy Development at 25 Trafalgar Street Belmore	Apr '16
						Scale	Job No.
							J02-15
© The Architect retains copyright. Authority should be requested for any reproductions			DESIGN INTENT FOR COUNCIL (DA)	Alec Pappas Architects Pty Ltd	Title	Dwg No.	Revision
					Front View	3D-02	A



CITY OF CANTERBURY

DA Application No: 195-16 Date: 15 AUG 2016

RECEIVED

Site Plan
Scale 1:200

Total Site Area = 602m²

Proposed Dual Occupancy Development

25 Trafalgar Street Belmore

Rev. # A	Description Council Amendments	Date July '16	Client Oxford Number 1 Pty Ltd	Consultants John Romanous & Associates (Stormwater) Building & Energy Consultants Australia (BASIX) Michael Siu Landscape Architects (Landscape) D-Plan Urban Planning Consultants (Planner)	alec pappas architects Pty Ltd ABN: 60 050 064 045 Level 1, 12 Mashman Avenue Kingsgrove NSW 2208 ph: (02) 9554 8233 fx: (02) 9554 8244 em: info@alecpappas.com.au web: www.alecpappas.com.au nominated Architect Alec Pappas (Registration No. 4713)	Project Proposed Dual Occupancy Development at 25 Trafalgar Street Belmore	Date Apr '16
© The Architect retains copyright. Authority should be requested for any reproductions			DESIGN INTENT FOR COUNCIL (DA)		Alec Pappas Architects Pty Ltd	Title Site Plan	Scale Job No. 1 : 200 J02-15
							Dwg No. Revision A-01 A

Drawing Legend

×	Existing ground/floor level	GL	Ground line	RCS	Concrete stair
⬇	Proposed ground/floor level	GP	Gas point	RD	Roller door
AC	Air-conditioning units	GR	Glass roof	RFP	Rectangular facade panelling
AL	Alignment levels to Council's requirements	GRG	Glass roof with gutter	RT	Roof tiling
AR	Acrylic render	GS	Glass shopfront	RTE	Roof tiling extended
AW	Aluminium window and door units	GT	Garden tap	RW	Retaining walls
BF	Block fencing	GW	Garden walls in masonry	RWH	Rainwater head
BiS	Box in services	HG	Half-round guttering	RWT	Rainwater tank
Br	Brick up opening	Hx	HardiTex cladding	SC	Steel channel exposed
BrW	Brick interior walls	Ins	Insulation	SD	Smoke detector
BV	Brick veneer walls	Let	Letterbox unit	SF	Selected floor finish
Cb	Cupboard	LG	Louvered glass windows	Sh	Shaft for services
CBI	Concrete block walls	Map	Masonry parapet walls	Sk	Skylights
CBW	Cavity brick walls	MeI	Metal framing exposed	Sp	Spitter pipe
CD	Concrete driveway	MEW	Metal-framed exterior walls	SP	Set plaster
CF	Colorbond fascia/barge boards	MF	Masonry fencing	SS	Structural steel
CG	Colour-backed glass	MFB	Metal-framed balustrade	St	Sandstone facing
Ch	Chute	MFR	Masonry fencing rendered	Ste	Steps in reinforced concrete
CH	Concrete hob	MIW	Metal-framed interior walls	STC	Steel troweled concrete
Cpt	Carpeted floor finish	ML	Metal louvers	StD	Strip drain
Cr	Crossing for driveway	MR	Metal roofing	Sub	Sub-soil drainage
CRW	Concrete roof with proprietary waterproofing	MRC	Metal roof construction	SuP	Suspended masonry parapets
CS	Concrete soffit	MS	Metal sunscreen	TB	Timber-framed balustrade
CTS	Composite timber slats	MSS	Metal slatted screening	TC	Timber Ceiling in WRC
Dp	Downpipe	MWC	Metal wall cladding	TD	Treated timber decking
Dr	Drain point	OFC	Off-form concrete	TEW	Timber-framed exterior walls
EA	Exposed aggregate concrete	OMF	Open metal fencing	TF	Timber fascia/barge boards
Exc	Excavation and shoring	Pan	Panelled ceiling suspended	TFC	Selected tiling over FC
ExM	Exposed metal roof framing	Pav	Paving	TFF	Timber floor framing
FB	Face brickwork	Pb	Plasterboard lining	TG	Translucent glass
FBI	Face blockwork	PbC	Plasterboard ceiling	TIP	Timber pitched roof construction
FC	Fibre cement lining cladding with paint finish	PbS	Plasterboard ceiling suspended	TiS	Timber skillion roof construction
FCC	Fibre cement ceiling	PCP	Precast concrete panels	TiW	Timber-framed interior walls
FCE	Fibre cement eaves lining	PCS	Pigmented concrete surface with tooled jointing	TOW	Top of wall level
FCL	Fibre cement lining	PF	Pool safety barriers	TP	Timber pergola
Fp	Fireplace	Pit	Silt arrestor pit	TS	Timber Stair
FP	Facade panelling	Plt	Concrete planters	TSS	Timber slatted screening
Fr	Refrigerator	PT	Polished timber flooring	TW	Timber window and door units
FrP	Framed parapet construction	PW	Pump well	Vb	Villaboard lining
FRW	Fire rated window	QG	Quad guttering	Vj	Form V-joint
FT	Floor tiling	ReC	Remove crossing	VJC	Vertical jointed cladding
FW	Floor waste	RB	Roof blanket	Wb	Weatherboard cladding
GB	Glass balustrade	RBF	Rendered brick fencing	WFC	Wood floated concrete finish
GD	Garage door	RCC	Reinforced concrete construction	Wp	Waterproof membrane
GHW	Gas hot water unit	RCF	Reinforced concrete floor	Wr	Wardrobe Cupboard
				WSP	White set plaster surface finish
				WT	Wall tiling

BCA Compliance Specification

Comply with the relevant BCA Housing Provisions clauses nominated below:

Earthworks	Part 3.1.1
Termite Protection	Part 3.1.3
Footings and slabs	Part 3.2
Drainage	Part 3.2.1
Masonry	Part 3.3
Framing	Part 3.4
Roof and wall cladding	Part 3.5
Glazing	Part 3.6
Smoke Alarms	Part 3.7.2
Wet Areas	Part 3.8.1
Areas requiring mechanical ventilation	Part 3.8.5
Stair Construction	Part 3.9.1
Balustrades	Part 3.9.2

CITY OF CANTERBURY

☒-DA Application No: 195-76

☐-CC

☐-BC

☐-PCA

☐-PCD

Date 15 AUG 2016

RECEIVED

BASIX & NatHERS COMMITMENTS NOTES					
REFER TO APPROVED BASIX REPORT					
WATER	Indigenous or Low water use species – 40 m ² of the site		☐ -PCA ☐ -PCD		
	Fixtures	All Shower Heads	All toilet flushing systems	All kitchen taps	All bathroom taps
		3 star (> 6 but <= 7.5 L/min)	4 star	4 star	4 star
Alternative water source	Individual water tanks to collect run off from at least 60 m ² of roof area - Tank size min 1500 litres				
	Landscape connection	Toilet connection	Laundry connection	Pool top up	
	Yes	Yes	-	-	
ENERGY	Hot water system: Gas Instantaneous 5 star				
	Bathroom ventilation system: Individual fan, ducted to façade or roof; manual switch on/off				
	Kitchen ventilation system: Individual fan, ducted to façade or roof; manual switch on/off				
	Laundry: Natural ventilation only				
	Cooling system: 3 Phase air-conditioning EER 3.0-3.5 in at least 1 living/bed area (zoned)				
	Heating system: 3 Phase air-conditioning EER 3.0-3.5 in at least 1 living/bed area (zoned)				
	Natural lighting: As per BASIX				
	Artificial lighting: As per BASIX				
	Must install a gas cooktop and gas oven				
Must install a fixed outdoor clothes drying line as part of the development.					

Building Elements	Material	Detail
External walls Dwelling 1	Cavity brick- ground floor	-
	Brick veneer and lightweight walls – first floor	R2.0 bulk insulation
Internal walls Dwelling 1	Single skin brick – ground floor	-
	Plasterboard on studs – first floor	-
External walls Dwelling 2	Cavity Brick- ground floor	Foil sided bubble wrap (Aircell permicav / Polyair Performa 4 or the like) total system R value Rt1.7
	Brick veneer and lightweight walls – first floor	R2.0 bulk insulation
Internal walls Dwelling 2	Single skin brick – ground floor	R1.5 bulk insulation to walls adjacent to garage
	Plasterboard on studs – first floor	-
Common walls	Cavity brick	-
Ceiling	Plasterboard	R2.5 bulk insulation to ceilings with roof above
Floors	Concrete	-
Roof	Metal Roof - light colour	Foil + R1.3 (anticon blanket) to underside of metal roof
Windows Dwelling 1	Aluminium framed, single glazed clear	U value 6.57 or less and SHGC 0.74 +/- 10%
Windows Dwelling 2	Aluminium framed, single glazed low e or similar	U value 4.7 or less and SHGC 0.63 +/- 10%
Lighting: Dwellings have been rated with 30 non-vented LED/fluorescent downlights to insulated ceilings.		
Note: Insulation specified must be installed in accordance with Part 3.12.1.1 of the BCA.		
Note: Self-closing damper to all the exhaust fans.		

Rev. #

Description

Date

A

Council Amendments

July '16

Client

Oxford Number 1 Pty Ltd

Consultants

John Romanous & Associates (Stormwater)
Building & Energy Consultants Australia (BASIX)
Michael Siu Landscape Architects (Landscape)
D-Plan Urban Planning Consultants (Planner)

alec pappas architects

Pty Ltd

ABN: 60 050 064 045
Level 1, 12 Mashman Avenue Kingsgrove NSW 2208
ph: (02) 9554 8233 fx: (02) 9554 8244
em: info@alecpappas.com.au
web: www.alecpappas.com.au
nominated Architect
Alec Pappas (Registration No: 4713)

Member

Australian Institute of Architects

Project

Proposed Dual Occupancy Development at
25 Trafalgar Street Belmore

Date

Apr '16

Scale

Job No.

1 : 100 J02-15

Dwg No.

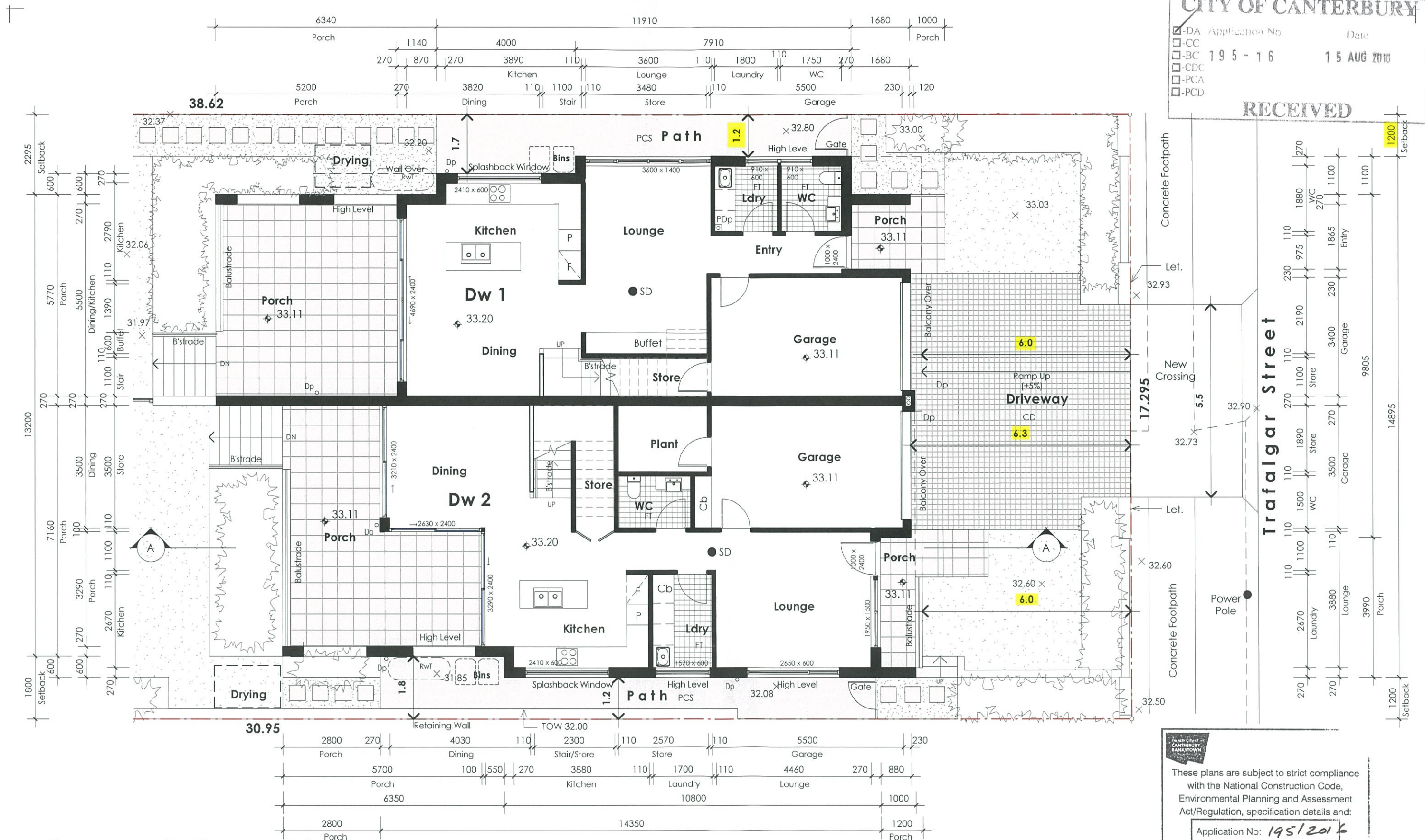
Revision

A-02 A

DESIGN INTENT FOR COUNCIL (DA)

Alec Pappas Architects Pty Ltd

Notes



Ground Floor Plan

1:100

Rev. #	Description	Date	Client	Consultants	Project	Date
A	Council Amendments	July '16	Oxford Number 1 Pty Ltd	John Romanous & Associates (Stormwater) Building & Energy Consultants Australia (BASIX) Michael Siu Landscape Architects (Landscape) D-Plan Urban Planning Consultants (Planner)	Proposed Dual Occupancy Development at 25 Trafalgar Street Belmore	Apr '16
						Scale Job No. 1 : 100 J02-15
						Dwg No. Revision A-03 A



© The Architect retains copyright. Authority should be requested for any reproductions

DESIGN INTENT FOR COUNCIL (DA)



Alec Pappas Architects Pty Ltd

ABN: 60 050 064 045
Level 1, 12 Mashman Avenue Kingsgrove NSW 2208
ph: (02) 9554 8233 fx: (02) 9554 8244
em: info@alecpappas.com.au
web: www.alecpappas.com.au
nominated Architect:
Alec Pappas (Registration No: 4713)



Member
Australian Institute
of Architects

Title
Ground Floor Plan



CITY OF CANTERBURY

☒-DA Application No: 195-16 Date: 15 AUG 2016

☐-CC

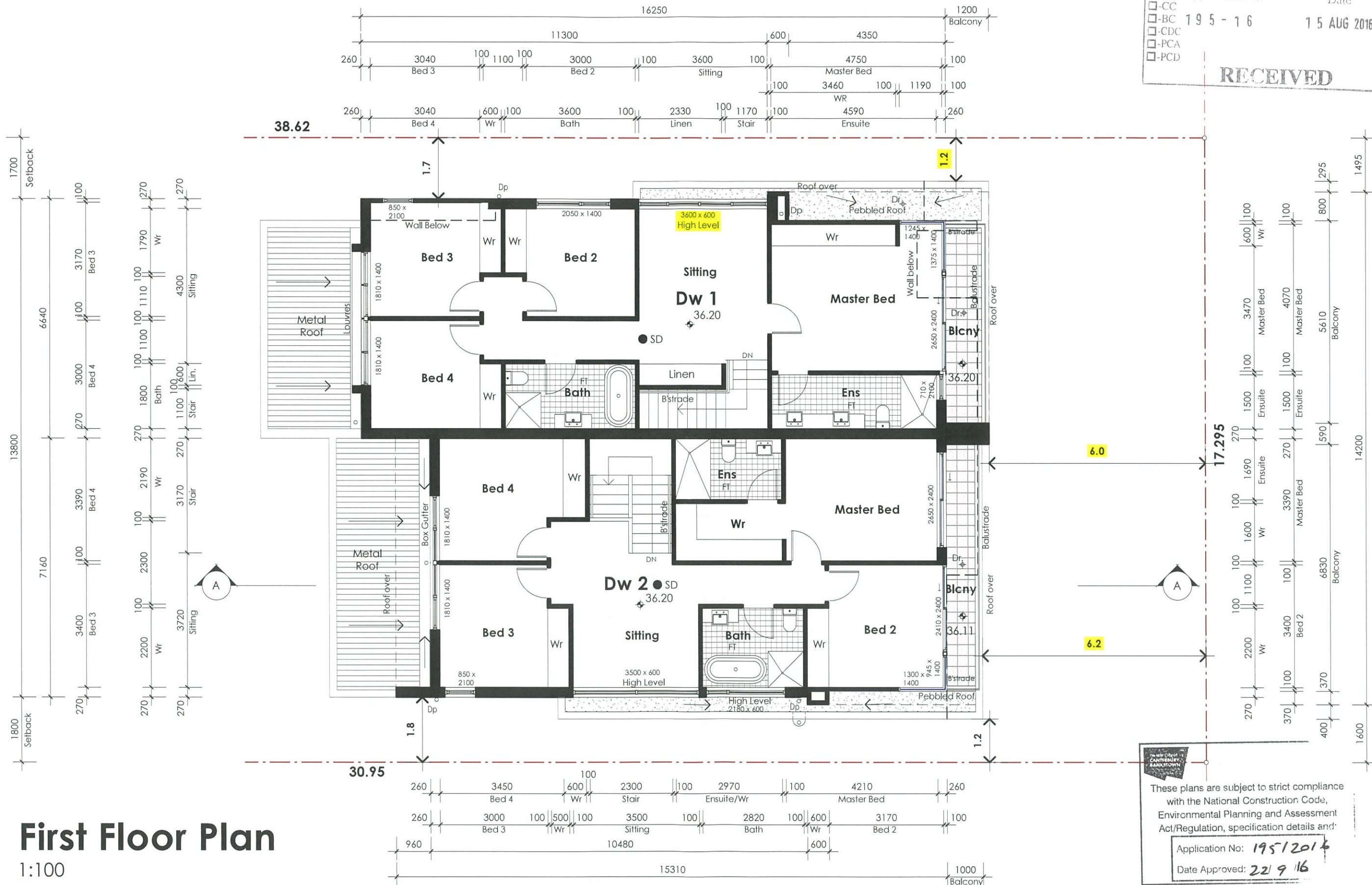
☐-BC

☐-CDC

☐-PCA

☐-PCD

RECEIVED

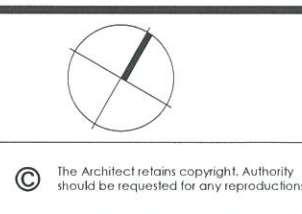


These plans are subject to strict compliance with the National Construction Code, Environmental Planning and Assessment Act/Regulation, specification details and:

Application No: 195/2016

Date Approved: 22/9/16

Rev. #	Description	Date
A	Council Amendments	July '16



Client
Oxford Number 1 Pty Ltd

Consultants
John Romanous & Associates (Stormwater)
Building & Energy Consultants Australia (BASIX)
Michael Siu Landscape Architects (Landscape)
D-Plan Urban Planning Consultants (Planner)



ABN: 60 050 064 045
Level 1, 12 Mashman Avenue Kingsgrove NSW 2208
ph: (02) 9554 8233 fx: (02) 9554 8244
em: info@alecpappas.com.au
web: www.alecpappas.com.au
nominated Architect:
Alec Pappas (Registration No: 4713)



Project
Proposed Dual Occupancy Development at
25 Trafalgar Street Belmore

Title
First Floor Plan

Date
Apr '16

Scale **Job No.**
1 : 100 J02-15

Dwg No. **Revision**
A-04 **A**



CITY OF CANTERBURY

☒-DA

☐-CC

☐-BC

☐-CDC

☐-PCA

☐-PCD

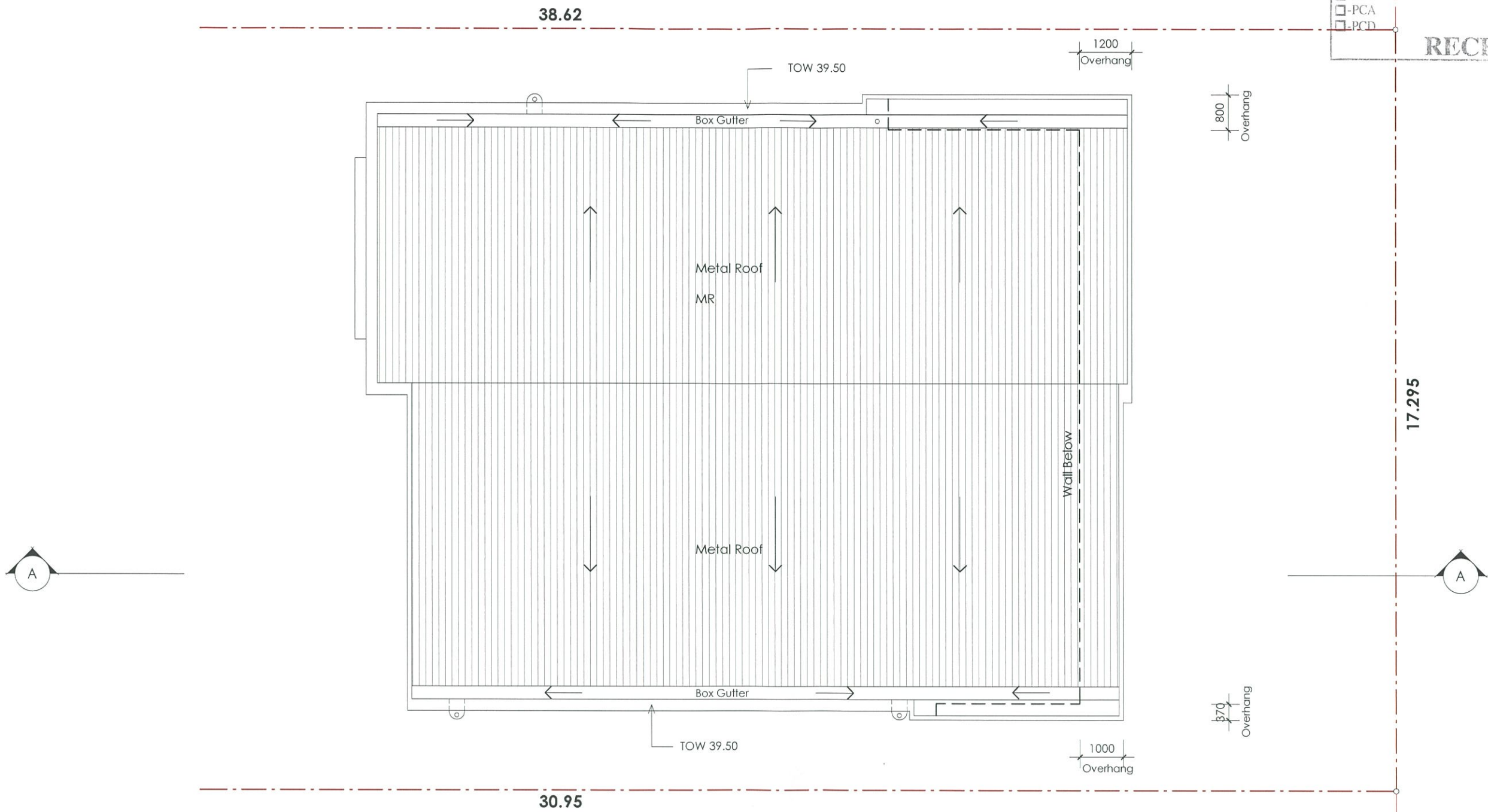
Application No:

195 - 16

Date

15 AUG 2016

RECEIVED

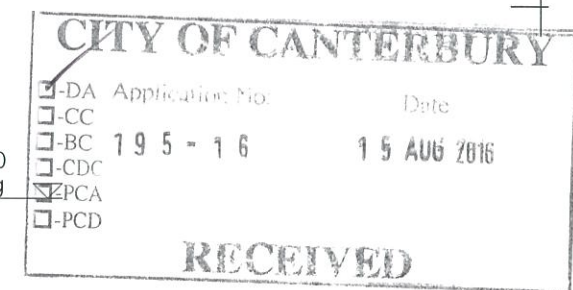


Roof Plan
1:100

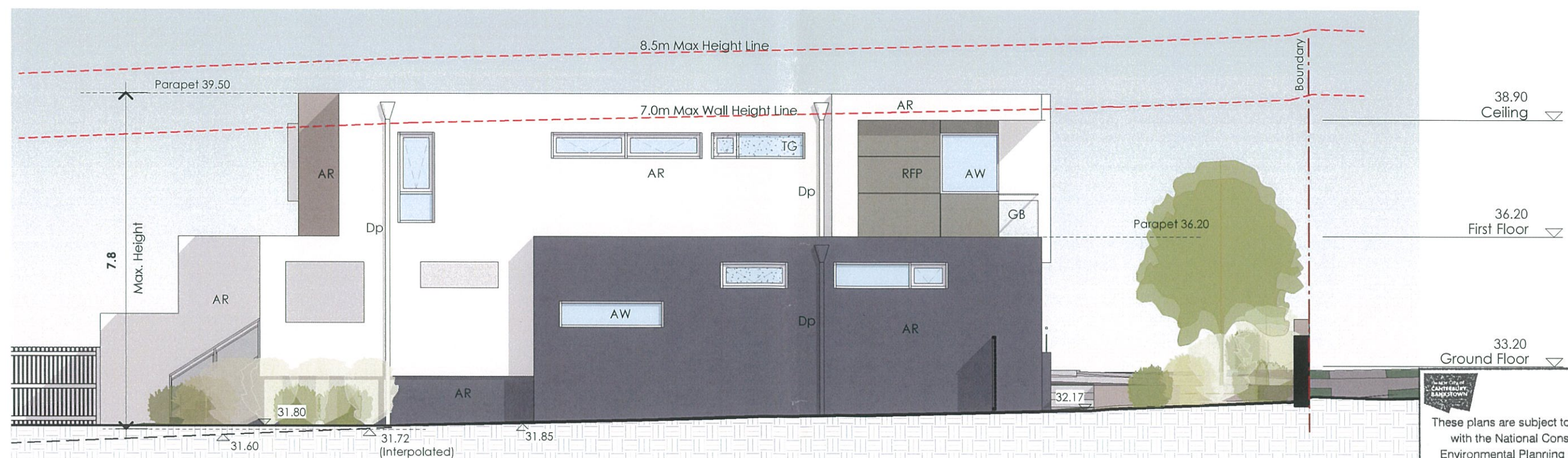
These plans are subject to strict compliance with the National Construction Code, Environmental Planning and Assessment Act/Regulation, specification details and:

Application No: 195/2016
Date Approved: 22/9/16

Rev. #	Description	Date		Client Oxford Number 1 Pty Ltd	Consultants John Romanous & Associates (Stormwater) Building & Energy Consultants Australia (BASIX) Michael Siu Landscape Architects (Landscape) D-Plan Urban Planning Consultants (Planner)	 alec pappas architects Pty Ltd ABN: 60 050 064 045 Level 1, 12 Mashman Avenue Kingsgrove NSW 2208 ph: (02) 9554 8233 fx: (02) 9554 8244 em: info@alecpappas.com.au web: www.alecpappas.com.au nominated Architect: Alec Pappas (Registration No: 4713)	 Member Australian Institute of Architects	Project	Date
A	Council Amendments	July '16						Proposed Dual Occupancy Development at 25 Trafalgar Street Belmore	
					Scale			Job No.	
					1 : 100			J02-15	
© The Architect retains copyright. Authority should be requested for any reproductions				DESIGN INTENT FOR COUNCIL (DA)		Alec Pappas Architects Pty Ltd		Title	Dwg No. Revision
								Roof Plan	A-05 A



Front View (to Trafalgar Street)
1:100

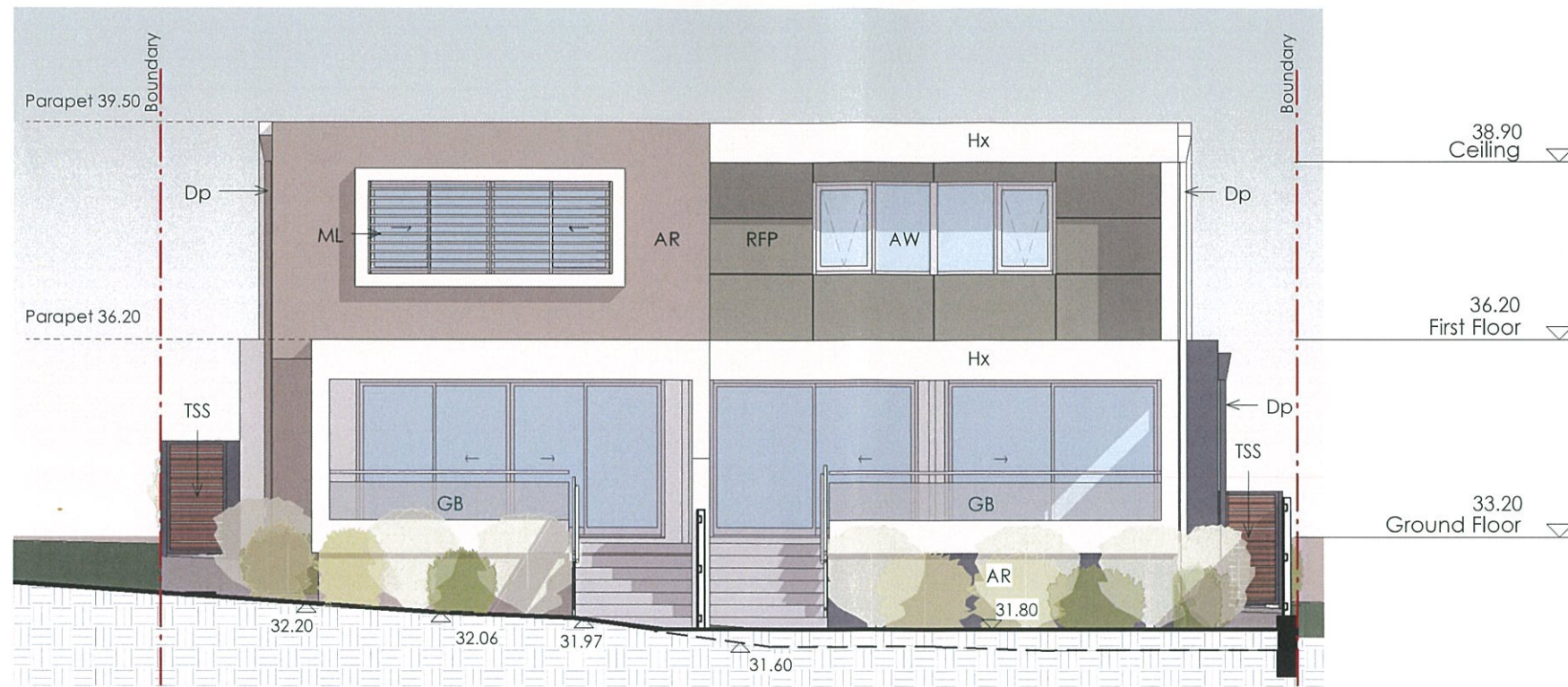


Side View (South - east)
1:100

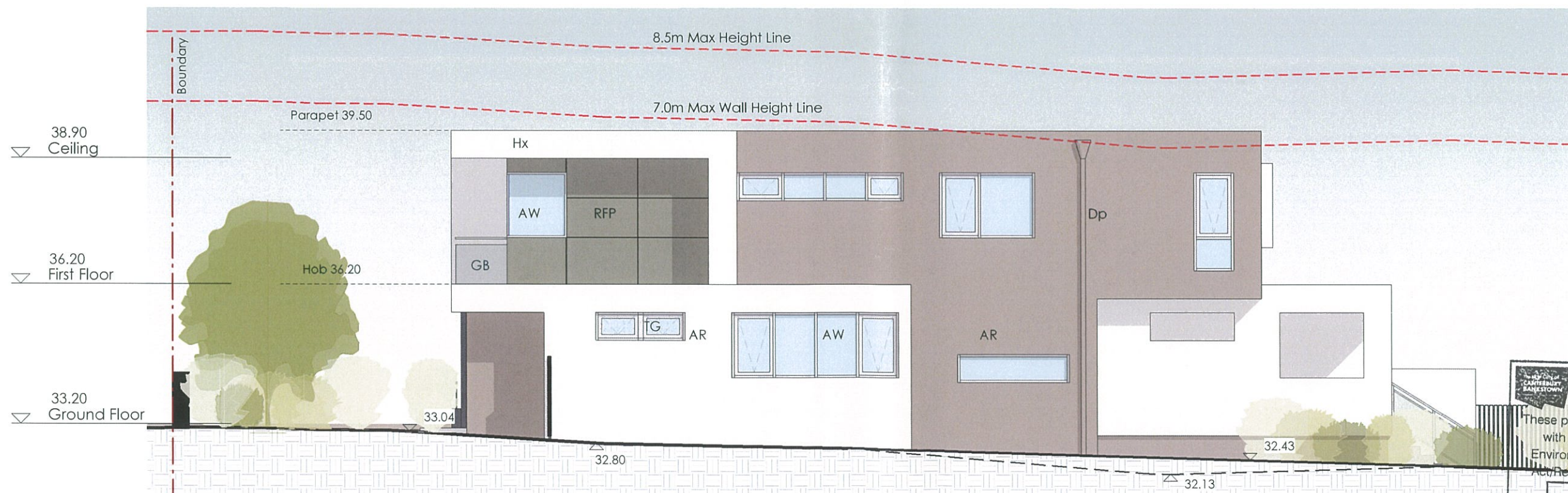
These plans are subject to strict compliance with the National Construction Code, Environmental Planning and Assessment Act/Regulation, specification details and:

Application No: 195/2016
Date Approved: 27/9/16

Rev. #	Description	Date	Client	Consultants	Project	Date
A	Council Amendments	July '16	Oxford Number 1 Pty Ltd	John Romanous & Associates (Stormwater) Building & Energy Consultants Australia (BASIX) Michael Siu Landscape Architects (Landscape) D-Plan Urban Planning Consultants (Planner)	Proposed Dual Occupancy Development at 25 Trafalgar Street Belmore	Apr '16
© The Architect retains copyright. Authority should be requested for any reproductions			DESIGN INTENT FOR COUNCIL (DA)		Elevations	Scale Job No. 1 : 100 J02-15
			Alec Pappas Architects Pty Ltd			Dwg No. Revision A-06 A



Rear View (South - west)
1:100



Side View (North - west)
1:100

CITY OF CANTERBURY

DA Application No: 195-16 Date: 15 AUG 2016

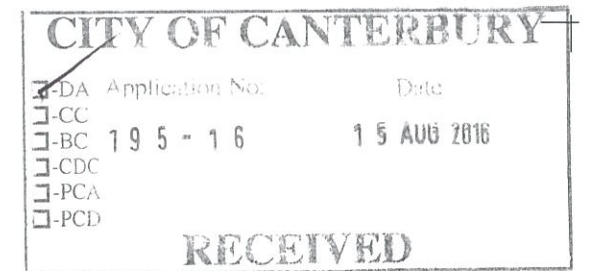
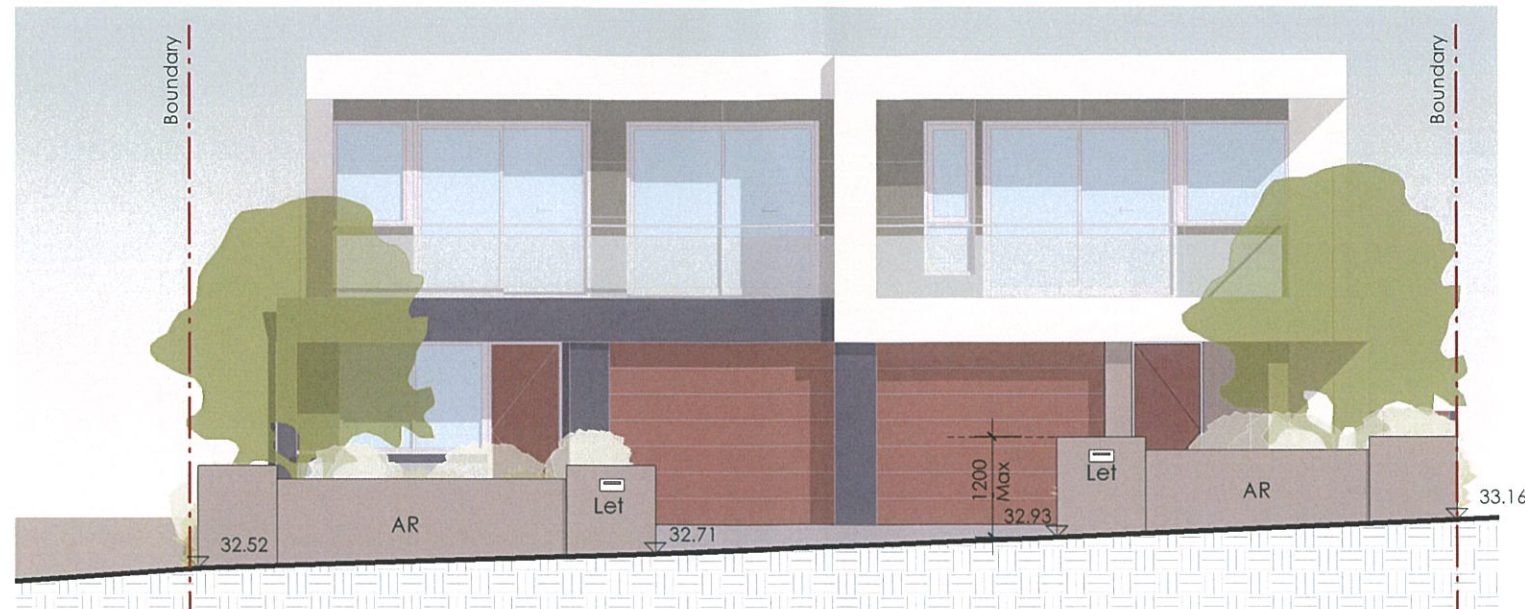
RECEIVED

These plans are subject to strict compliance with the National Construction Code, Environmental Planning and Assessment Act/Regulation, specification details and:

Application No: 195/2016

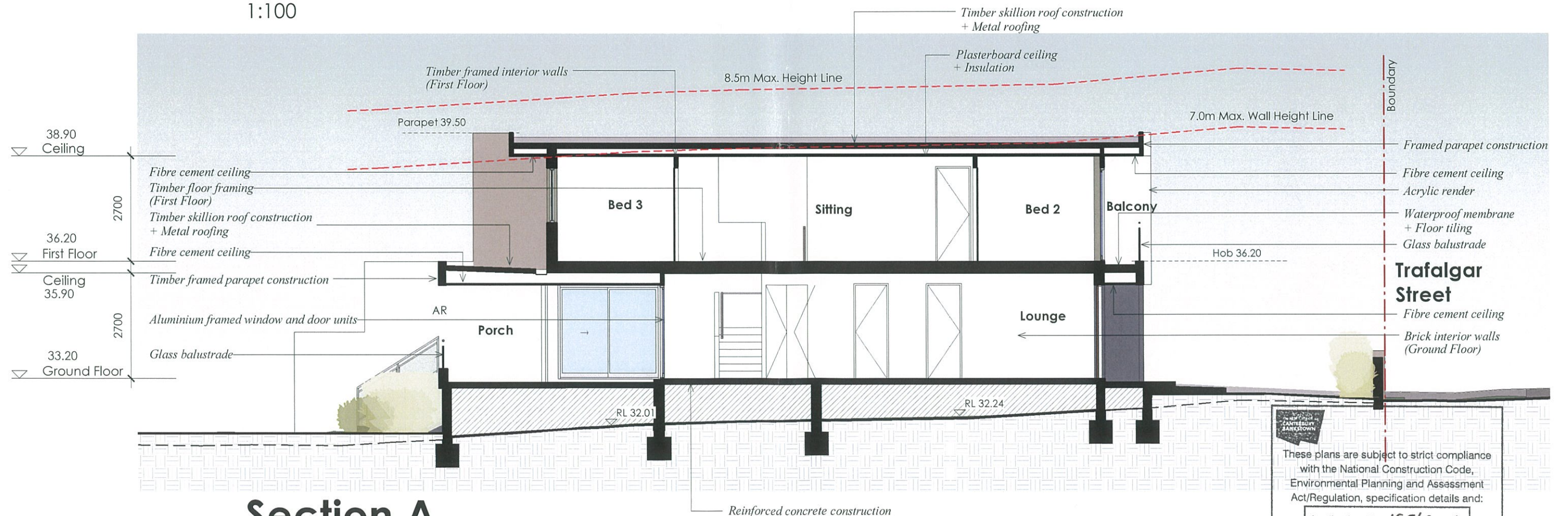
Date Approved: 22/7/16

Rev. #	Description	Date	Client	Consultants	Project	Date
A	Council Amendments	July '16	Oxford Number 1 Pty Ltd	John Romanous & Associates (Stormwater) Building & Energy Consultants Australia (BASIX) Michael Siu Landscape Architects (Landscape) D-Plan Urban Planning Consultants (Planner)	Proposed Dual Occupancy Development at 25 Trafalgar Street Belmore	Apr '16
			 alec pappas architects Pty Ltd		 Member Australian Institute of Architects	
			ABN: 60 050 064 045 Level 1, 12 Mashman Avenue Kingsgrove NSW 2208 ph: (02) 9554 8233 fx: (02) 9554 8244 em: info@alecpappas.com.au web: www.alecpappas.com.au nominated Architect Alec Pappas (Registration No. 4713)		Scale Job No. 1 : 100 J02-15	
			© The Architect retains copyright. Authority should be requested for any reproductions		Title Elevations	
			DESIGN INTENT FOR COUNCIL (DA)		Dwg No. Revision A-07 A	



Front Fence Elevation (to Trafalgar Street)

1:100



Section A

1:100

These plans are subject to strict compliance with the National Construction Code, Environmental Planning and Assessment Act/Regulation, specification details and:

Application No: 195/2016

Date Approved: 22/7/16

Rev. #	Description	Date
A	Council Amendments	July '16

© The Architect retains copyright. Authority should be requested for any reproductions

Client
Oxford Number 1 Pty Ltd

Consultants
John Romanous & Associates (Stormwater)
Building & Energy Consultants Australia (BASIX)
Michael Siu Landscape Architects (Landscape)
D-Plan Urban Planning Consultants (Planner)

DESIGN INTENT FOR COUNCIL (DA)



ABN: 60 050 064 045
Level 1, 12 Mashman Avenue Kingsgrove NSW 2208
ph: (02) 9554 8233 fx: (02) 9554 8244
em: info@alecpappas.com.au
web: www.alecpappas.com.au
nominated Architect:
Alec Pappas (Registration No: 4713)



Alec Pappas Architects Pty Ltd

Project
Proposed Dual Occupancy Development at
25 Trafalgar Street Belmore

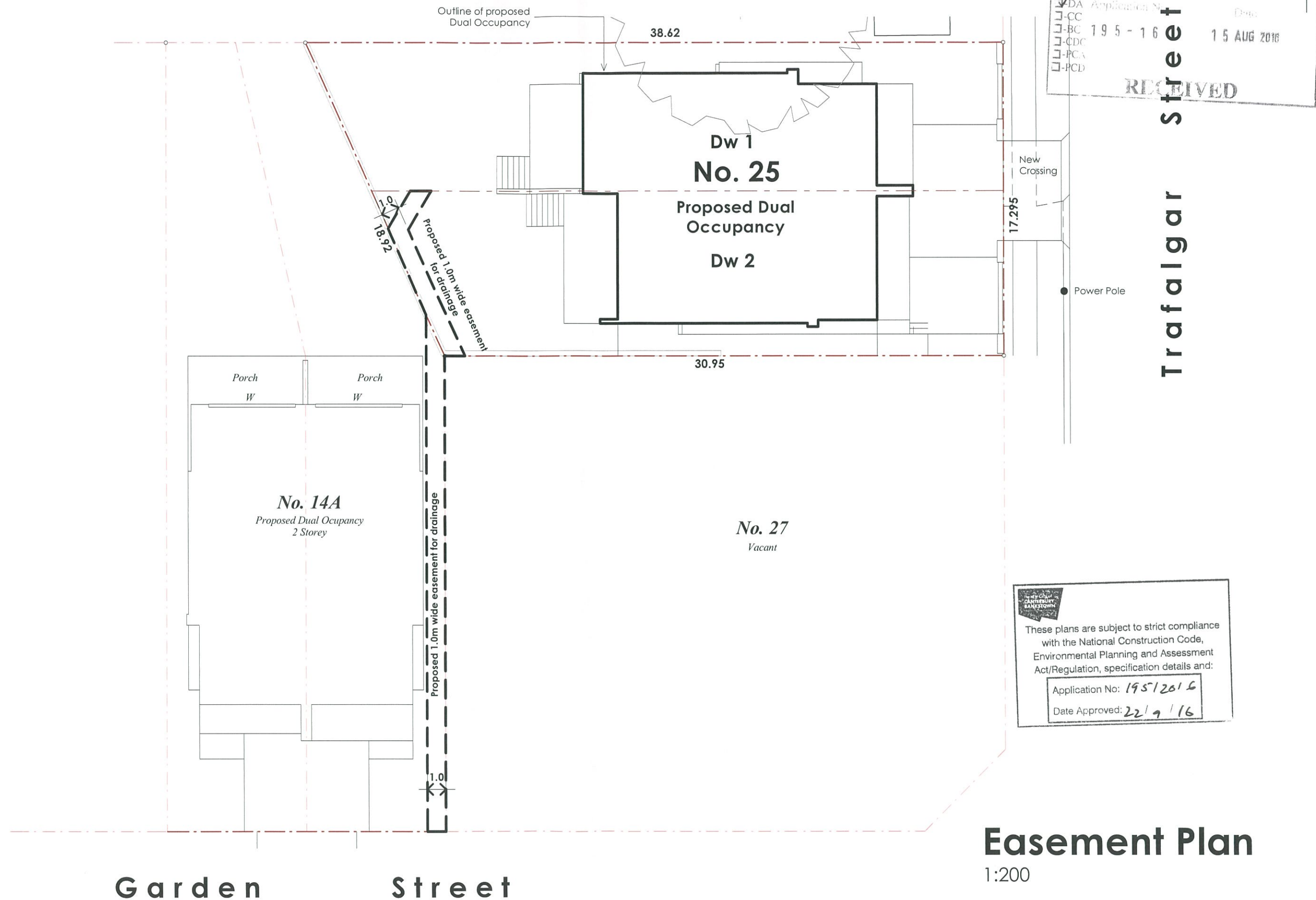
Title
Section

Date
Apr '16

Scale **Job No.**
1 : 100 J02-15

Dwg No. **Revision**
A-08 **A**

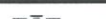
+



CITY OF CANTERBURY
 DA Application No. 195-16 Date: 15 AUG 2016
 RECEIVED

These plans are subject to strict compliance with the National Construction Code, Environmental Planning and Assessment Act/Regulation, specification details and:
 Application No: 195/2016
 Date Approved: 22/7/16

Easement Plan
 1:200

Rev. #	Description	Date		Client Oxford Number 1 Pty Ltd	Consultants John Romanous & Associates (Stormwater) Building & Energy Consultants Australia (BASIX) Michael Siu Landscape Architects (Landscape) D-Plan Urban Planning Consultants (Planner)	 alec pappas architects Pty Ltd ABN: 60 050 064 045 Level 1, 12 Mashman Avenue Kingsgrove NSW 2208 ph: (02) 9554 8233 fx: (02) 9554 8244 em: info@alecpappas.com.au web: www.alecpappas.com.au nominated Architect: Alec Pappas (Registration No. 4713)	 Member Australian Institute of Architects	Project	Date
A	Council Amendments	Aug '16						Proposed Dual Occupancy Development at 25 Trafalgar Street Belmore	Apr '16
					Scale	Job No.			
					1 : 200	J02-15			
			© The Architect retains copyright. Authority should be requested for any reproductions	DESIGN INTENT FOR COUNCIL (DA)	Alec Pappas Architects Pty Ltd	Title Easement Plan	Dwg No.	Revision	
							EP-01	A	